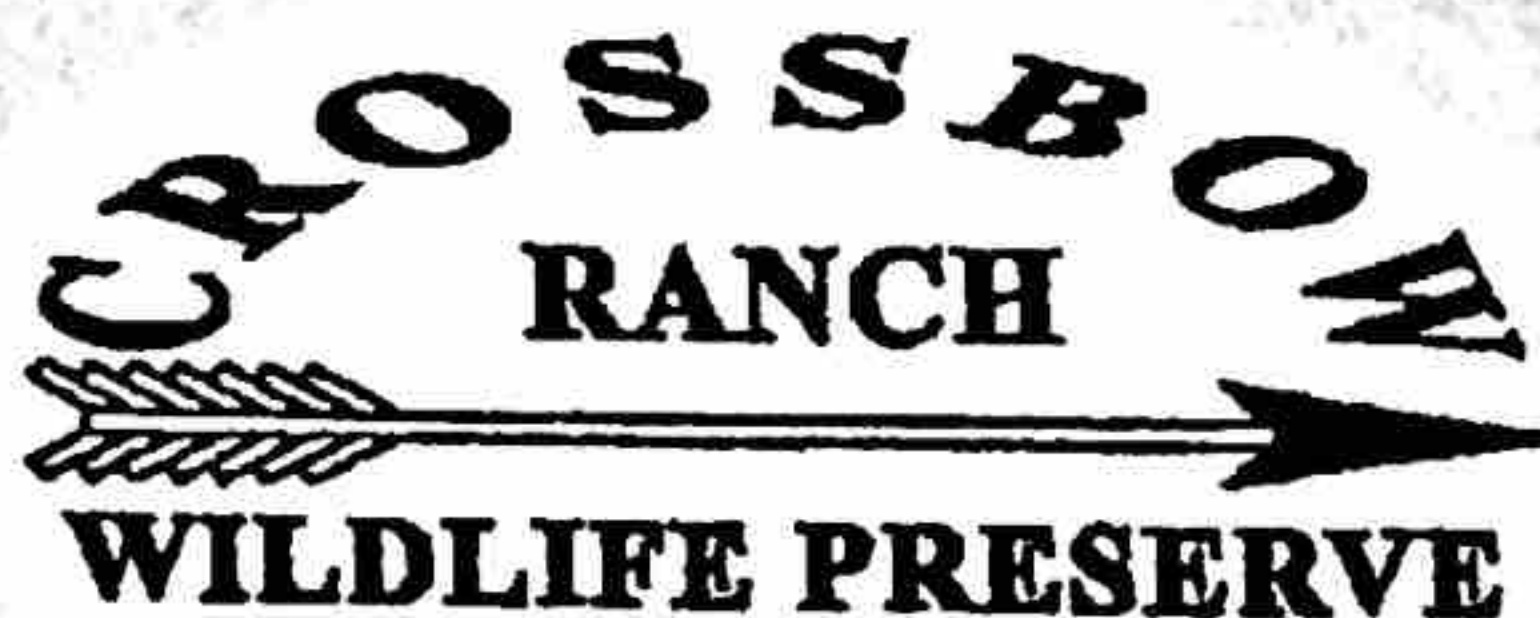




19593

832



ARCHITECTURAL COMMITTEE

SITE / PLAN REVIEW REQUEST FORM

Phase: (1)(2) / 3 Lot Number: 4 Acres: 6.66 Date: 6-23-18

Owner's Name: Richard and Lorie Drum

Address: 151 Private Road 2121

Phone Number: (281) 685-8833

Architect's Name: N/A

Items submitted for approval:

New Residence:

☒ Y / ☐ N

Modification to Residence:

☐ Y / ☒ N

Equestrian or Livestock Facilities:

☐ Y / ☒ N

Shop or Storage Building:

☒ Y / ☐ N

*Variance Required:

☐ Y / ☒ N

Other-Describe: _____

Building Use:

Dwelling: ☒ Y / ☐ N

Permanent Structure: ☒ Y / ☐ N

Temporary Structure: ☐ Y / ☒ N

Structure Setbacks:

Distance from boundary lines: 60' from South boundary
25' off the road

Square Footage:

Inside Living Area: 898 Number of stories in height: 1

Non-Residence Structure: Pole Barn 30x60

Building Exterior:

Materials: Hardiplank

Color Scheme:

Exterior Walls: Tan-Earth tones Trim: White

Other: Other: 20

Roof:

Material: Metal-Standing Seam

Color: Galvanized

Fencing or Entry

Height: N/A Length: _____

Material: Gravel Driveway Finish (Paint or Stain/Colors): _____

Please attach a drawing of the home location on the plot and an exterior sketch or a copy of the proposed construction plans to:

CBR&WP c/o Architecture Committee
11093 State Highway 6
Meridian, Texas 76665

*Variances will be submitted to the Crossbow Ranch and Wildlife Preserve Board of Directors for approval.

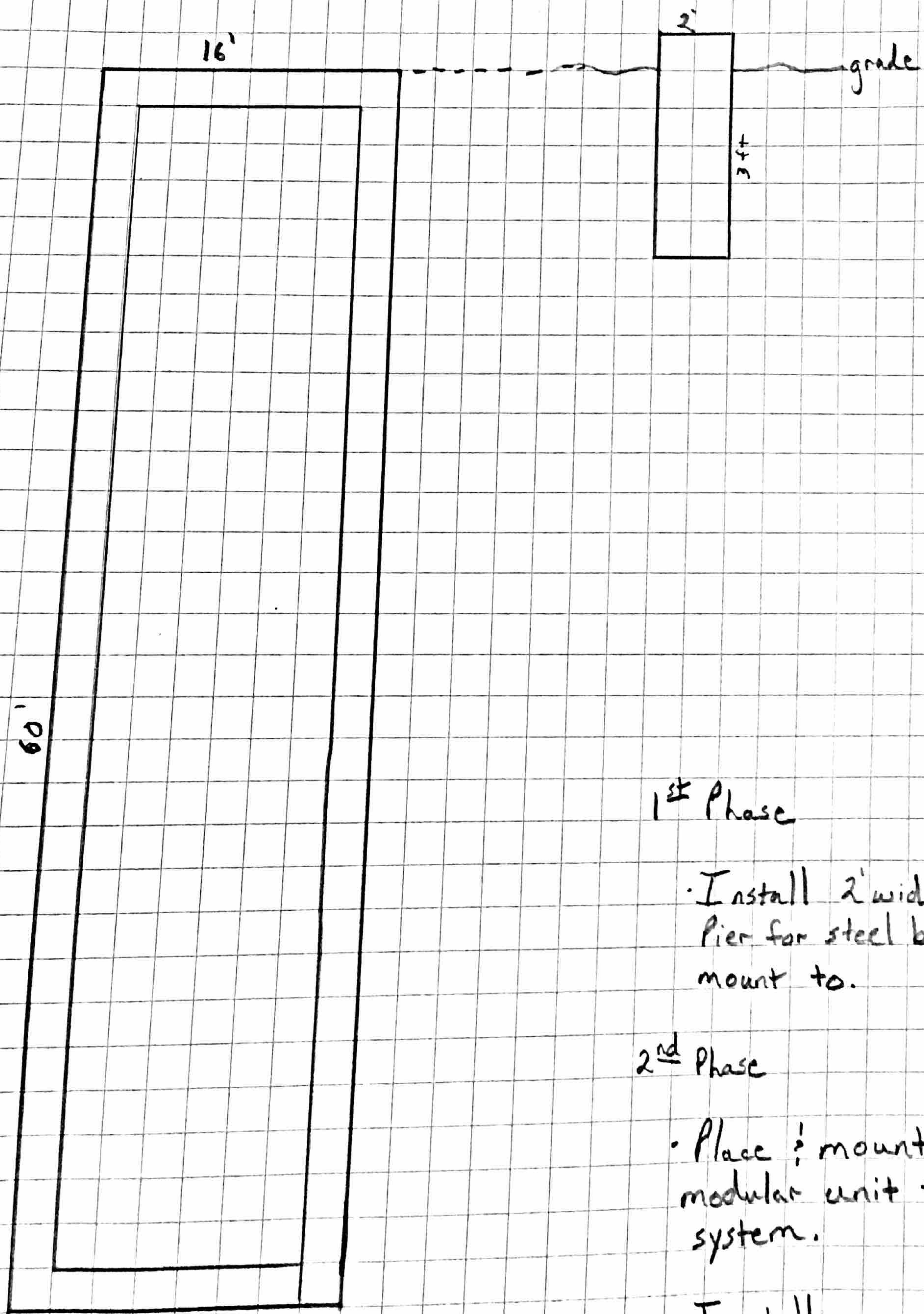
Untitled Map

Write a description for your map

Legend

Untitled Polygon



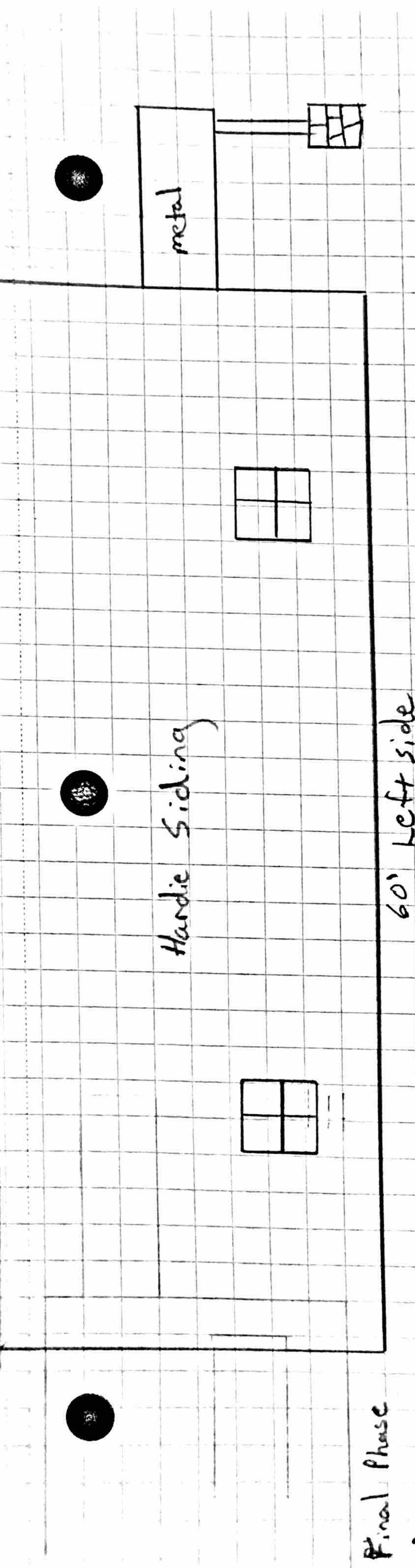


1st Phase

- Install 2' wide x 3' deep pier for steel beams to mount to.

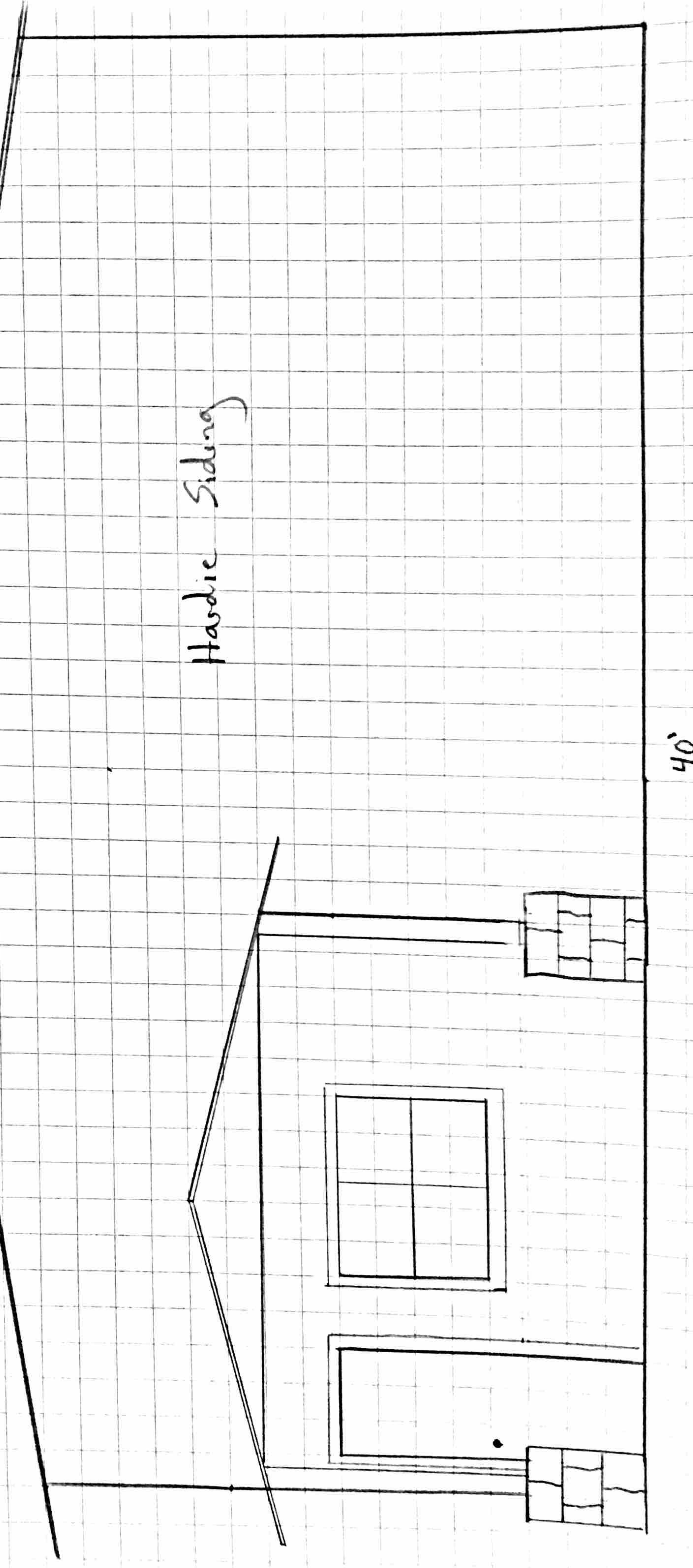
2nd Phase

- Place & mount 16' x 60' modular unit to pier system.
- Install approved septic system.



Final Phase
Build Pole Barn + tie in
modular structure

Front



Hardie Siding

40'

metal Roof

Hardie Siding

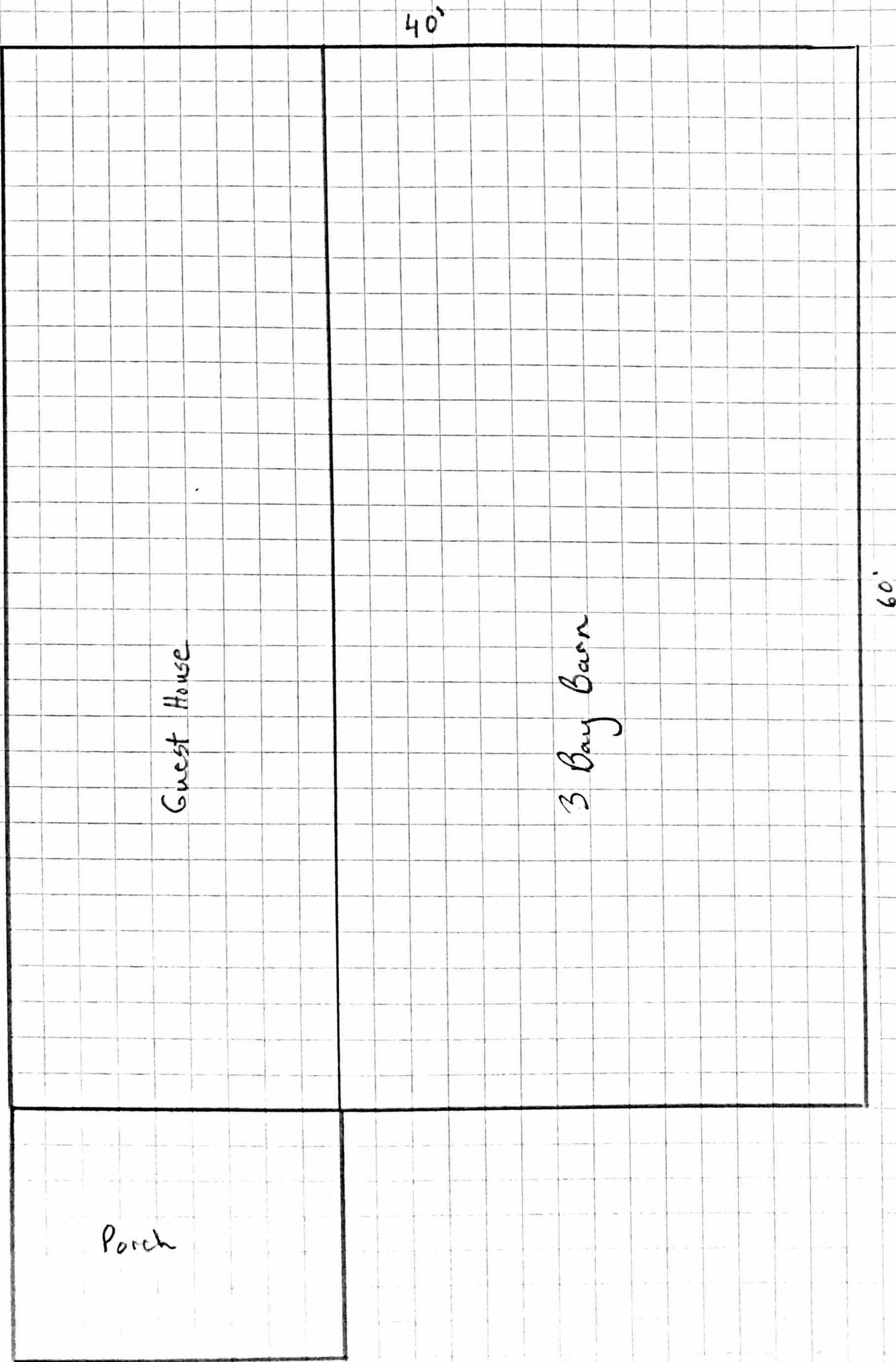
16' x 12'
Garage Door
(metal)

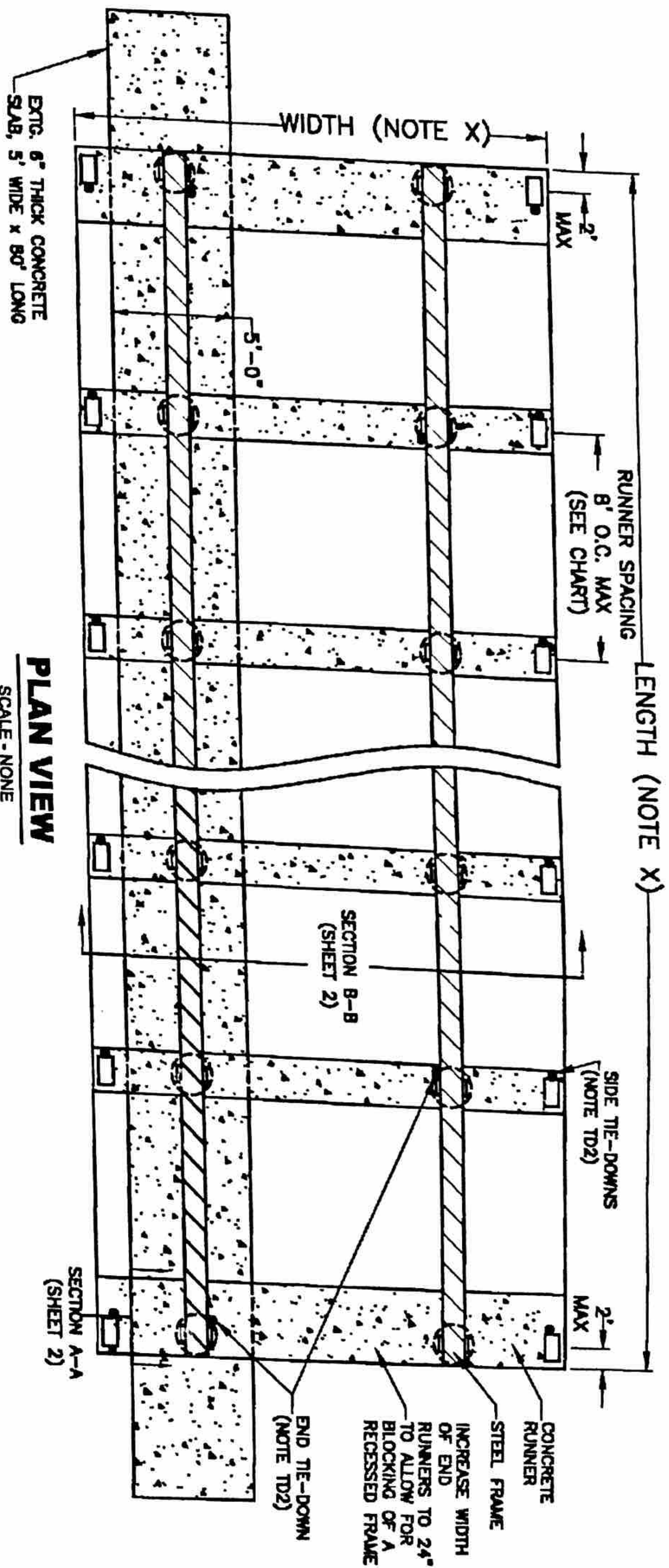
16' x 12'
Garage Door
(metal)

16' x 12'
Garage Door
(metal)

60' right side

Overall layout





PLAN VIEW
SCALE - NONE

DESIGN PARAMETERS:

WIND-134 MPH 3 SEC GUST EXP C PER ASCE 7-10; MINIMUM SOIL BEARING CAPACITY OF 1500 PSF; SEISMIC - ZONE A.
THIS FOUNDATION IS DESIGNED FOR USE IN EXPANSIVE CLAY SOILS. HOWEVER, PERIODIC RE-LEVELING MAY BE REQUIRED IF SOIL MOISTURE LEVELS ARE ALLOWED TO VARY. SEE FOUNDATION MAINTENANCE AND DRAINAGE NOTES TO MINIMIZE THE SEASONAL EFFECTS.

DIMENSION NOTES (X):

- X1) CONTRACTOR MUST VERIFY ACTUAL BOX DIMENSIONS w/MANUFACTURER PRIOR TO BEGINNING CONSTRUCTION
- X2) HOMES CONSTRUCTED WITH 2"x6" WALLS MAY INCREASE THE ACTUAL BOX DIMENSIONS.
- X3) FOOTINGS/SLAB DIMENSION = BOX WIDTH PLUS 2" MIN IN ALL DIRECTIONS.

GENERAL NOTES (G):

- G1) THE AXLES AND HITCHES MUST BE REMOVED FROM UNDER HOME AFTER INSTALLATION.
- G2) DRYER VENTS AND WATER HEATER DRAIN LINES (PAN AND T&P) ARE TO BE ROUTED OUTSIDE OF THE CRAWL SPACE ENCLOSURE. THE A/C CONDENSATE DISCHARGE POINT SHOULD BE A MIN. OF 5' FROM THE NEAREST FOOTING.
- G3) THE INCOMING WATER SUPPLY SHUT-OFF VALVE MUST BE READILY ACCESSIBLE.
- G5) SUPPLY WATER LINES MUST BE INSULATED TO PROTECT FROM FREEZE.
- G6) THE 2008 NATIONAL ELECTRIC CODE REQUIRES THE INCLUSION OF AT LEAST ONE 4AWG COPPER CONDUCTOR.

LIMITATIONS:

ALL MODIFICATIONS OR CHANGES SHALL BE IN WRITING AND NO VERBAL DEVIATIONS ARE PERMITTED. ANY CHANGES OR DEVIATIONS TO THIS PLAN CONSTITUTE A BREACH OF THIS PLAN AND RENDERS VOID THE ENGINEER'S CERTIFICATION AS WELL AS ALL EXPRESSED OR IMPLIED LIABILITY OR WARRANTY OF THIS DESIGN. RCS LIABILITY FOR THIS DESIGN IS LIMITED TO \$500. USE OF PART OF THIS DESIGN INDICATES ACCEPTANCE OF ALL OF THE REQUIREMENTS. THE WARRANTY OF THIS DESIGN IS LIMITED TO THIS PLAN AND DOES NOT INCLUDE WHAT MAY OR MAY NOT BE INSTALLED AT CONSTRUCTION. PLEASE CONTACT RCS IF YOU HAVE QUESTIONS ABOUT THIS DESIGN OR THE STIPULATIONS OF ITS USE. RCS EXPRESSLY DENIES ANY WARRANTY THAT THIS DESIGN WILL SATISFY THE PARTICULAR DESIRES OF A PARTICULAR CUSTOMER.

J. Martin Montgomery
16:32:23 2016.12.06

'00'06-

J. MARTIN MONTGOMERY
REGISTERED PROFESSIONAL ENGINEER
STATE OF TEXAS - NO. 90427
RCS ENTERPRISES, LP F-2071



THIS IS A PERMANENT FOUNDATION FOR A MANUFACTURED OR INDUSTRIALIZED STRUCTURE AND HAS BEEN DESIGNED IN ACCORDANCE WITH THE IRC/IBC (INTERNATIONAL RESIDENTIAL/BUILDING CODE), 2012 VERSION AS REQUIRED BY THE STATE OF TEXAS DEPT. OF LICENSING & REGULATION - INDUSTRIALIZED HOUSING & BUILDING (IHB) AND "THE PERMANENT FOUNDATION GUIDE FOR MANUFACTURED HOUSING", SEPT. 1998 (REF: FHA HUD-7584/7487 HUD-4145.1 REV 2).

FILE NAME: RCS-TX-U-MOD-2W-RUNNER-NPER-1
DRAWING NAME: MODULAR HOME FOUNDATION
TX RUNNER DESIGN

THIS DESIGN WAS ORDERED BY: **PALM HARBOR HOMES**

RCS Enterprises, LP

400 N. Allen Dr. Suite #205 Allen, TX 75013 (972)727-8572

BILL YORK
5819 VICTORY
HOUSTON, TX 77088

CONTRACTOR MUST FIELD VERIFY ACTUAL DIMENSIONS WITH MANUFACTURER PRIOR TO BEGINNING CONSTRUCTION.

COMPANY NAME IS BLUE IN COLOR ON ORIGINAL DRAWINGS

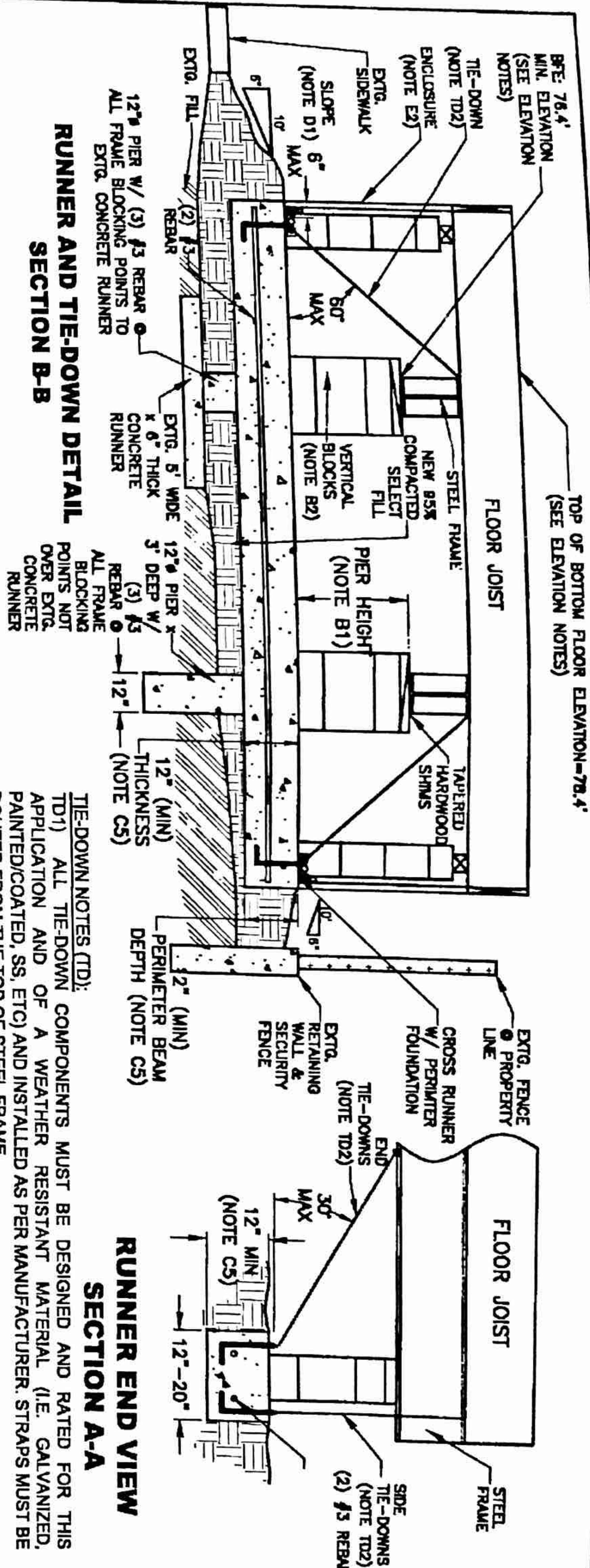
MODEL: **CABANA III**

BOX SIZE: **15'-6" x 61'-0"**

SHEET NO.
1 OF 3

DWG ISSUE DATE:
02/04/15

REV NO. & DATE
3) 12/06/16



**RUNNER AND TIE-DOWN DETAIL
SECTION B-B**

**RUNNER END VIEW
SECTION A-A**

ENCLOSURE NOTES (E):
 E1) A MINIMUM CRAWL SPACE CLEARANCE BETWEEN GRADE AND THE STEEL FRAME IS 12" AND THE MINIMUM TO THE FLOOR JOIST IS 18". A MINIMUM 16"x24" READILY OPERABLE ACCESS DOOR IS REQUIRED INTO THE CRAWL SPACE AREA (NOT LOCATED UNDER A DOOR OR DECKPORCH); 18" X 24" IF THROUGH FLOOR.
 E2) A CONTINUOUS ENCLOSURE/SKIRTING OF THE CRAWL SPACE IS REQUIRED. IT MUST BE OF A PERMANENT MATERIAL (MVL, MASONRY, TREATED WOOD, ETC), HAVE WIND RESISTANT TREATED WOOD FRAMING AND BE SUPPORTED AT GRADE BY WOOD, STEEL OR CONCRETE PIER/FOOTINGS THAT EXTEND TO THE FROST LINE. IF THE ENCLOSURE IS USED TO RETAIN THE SOIL, (IE. CREATING A PIT SET CONDITION) THEN THE SOIL MUST BE SLOPED TO A DRAIN THAT ROUTES TO THE EXTERIOR, & THE SURFACE MUST BE COVERED WITH A CLASS 1 VAPOR BARRIER. IN A FLOOD PRONE OR COASTAL AREA, THE UNDER HOME SOIL GRADE MUST BE ABOVE THE EXTERIOR SOIL ELEVATION.
 E3) A MINIMUM OF 1 SQFT OF CRAWL SPACE VENT AREA IS REQUIRED FOR EVERY 150 SQFT OF LIVING AREA. A VENT MUST BE LOCATED WITHIN 3' OF EACH CORNER AND ALL MUST HAVE A MAX 1/4" OPENING MESH. IN A FLOOD PRONE AREA, A MINIMUM OF 1 SQFT OF CRAWL SPACE VENT AREA IS REQUIRED FOR EVERY 144 SQFT OF LIVING AREA. THE BOTTOM OF EACH VENT OPENING SHALL BE 1 FOOT OR LESS ABOVE GRADE LEVEL. A MINIMUM OF TWO VENT OPENINGS ON DIFFERENT SIDES OF EACH ENCLOSED AREA IS REQUIRED.

BLOCKING NOTES (B):
 B1) THE MINIMUM BLOCK HEIGHT UNDER THE STEEL FRAME IS 12" (18" UNDER FLOOR JOIST) AND THE MAXIMUM IS 48" FOR THIS DESIGN. DOUBLE BLOCKS ARE REQUIRED WHEN BLOCK STACKS HEIGHTS EXCEED 32" UNDER THE FRAME OR 48" UNDER THE MARRIAGE LINE OR PERIMETER.
 B2) USE 8"x8"x16" HOLLOW OR SOLID CELL MASONRY UNITS; 1-1/4" FACE SHELL THICKNESS; 1" WEB THICKNESS; 18,720 LB. LOAD-BEARING CAPACITY WITH A 4" MINIMUM THICKNESS. IF THIS FOUNDATION REQUIRES FHA CERTIFICATION, ALL MASONRY PIERS & WALLS MUST HAVE MORTARED JOINTS. IF DRY STACKED PIERS ARE EXISTING THEY CAN BE COATED WITH A HUD APPROVED "SURFACE BONDING CEMENT" (REF. HUD MR807F). ALL BLOCKS MUST BE POSITIONED TO ENSURE A 2" MIN FOOTING PROJECTION.
 B3) TAPE & TEXTURE HOMES REQUIRE PERIMETER & MARRIAGE WALL SUPPORT EVERY 8' O.C. (MAX OR AS NOTED BY THE MANUFACTURER). BLOCKING IS REQUIRED ON ALL HOMES UNDER PERIMETER DOORS & WINDOWS (48" OR WIDER) AND UNDER MARRIAGE WALL COLUMN SPANS GREATER THAN 8', AND UNDER WALL-TO-PORCH TRANSITIONS. INSTALL BLOCKING ON RUNNERS OR ON 20"x20"x8" CONCRETE FOOTINGS PLACED AS NOTED BELOW.

TIE-DOWN NOTES (TD):
 TD1) ALL TIE-DOWN COMPONENTS MUST BE DESIGNED AND RATED FOR THIS APPLICATION AND OF A WEATHER RESISTANT MATERIAL (IE. GALVANIZED, PAINTED/COATED, SS, ETC) AND INSTALLED AS PER MANUFACTURER. STRAPS MUST BE ROUTED FROM THE TOP OF STEEL FRAME.
 TD2) TIE DOWN WITH A SINGLE STRAP EVERY 8' O.C. (MAX) AT 60° (MAX) WHEN THE ANCHOR IS POSITIONED AT THE PERIMETER. TWO (2) END STRAPS PER UNIT PER END AT A 30° ANGLE OR LESS ARE REQUIRED, NOT CONNECTED TO A SINGLE FRAME MEMBER. ALL ANCHORING MUST BE SECURED IN CONCRETE AND RATED AT 4,725 LBS ULTIMATE LOAD OR GREATER WITH A 5" DEPTH, 5/8" DIAMETER J-BOLT, SIMPSON TITEN HD ANCHOR OR AN EPOXY SET THREADED ROD.

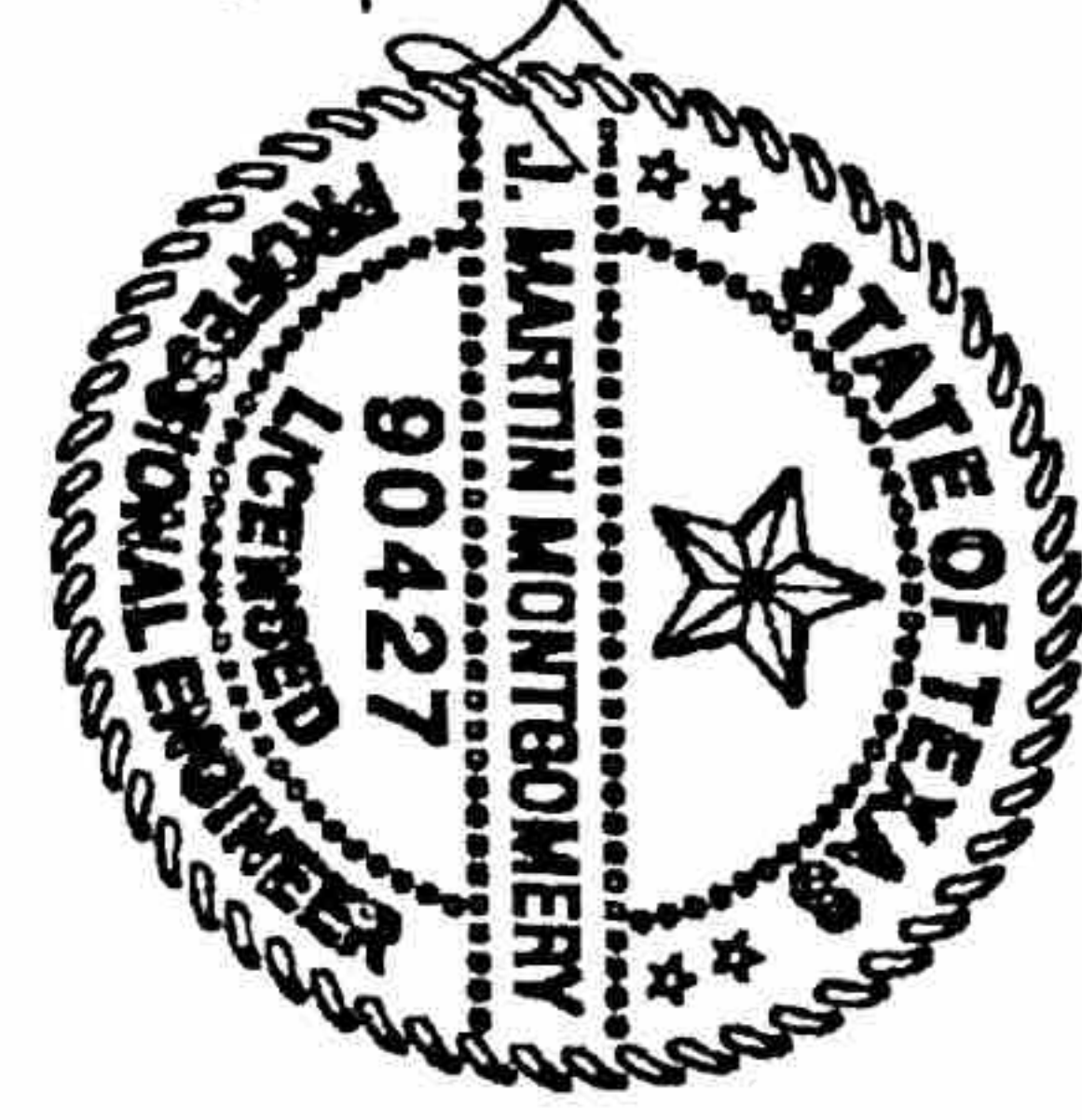
DRAINAGE (D):
 D1) POSITIVE AND EFFECTIVE DRAINAGE AWAY FROM THE FOUNDATION IS CRITICAL TO HELP MINIMIZE FOUNDATION MOVEMENT DUE TO CHANGING SOIL MOISTURE LEVELS AND TO ENSURE THE CRAWL SPACE AREA STAYS DRY. THERE SHOULD NOT BE ANY STANDING OR PONDING OF SURFACE WATER WITHIN 10' OF THE FOUNDATION.
 D2) LOT GRADING AND SURFACE WATER RUN-OFF SHOULD BE CONSIDERED AND DEVELOPED IN ACCORDANCE WITH LOCAL REQUIREMENTS.
 D3) EROSION OF THE SOIL ALONG THE PERIMETER OF THE FOUNDATION SHOULD BE PREVENTED WITH USE OF SEEDING, SOD, OR OTHER MEANS. THIS IS GENERALLY THE HOMEOWNERS RESPONSIBILITY.
 D4) RAIN GUTTERS ARE GENERALLY NOT REQUIRED, BUT CAN BE BENEFICIAL TO REDIRECT HIGH WATER FLOW AREAS.
 D5) WHEN A COVERED PORCH IS INCLUDED ON THE HOME, SLOPE SOIL TO THE EXTERIOR & COVER WITH A CLASS 1 VAPOR BARRIER. ALLOW FOR DRAINAGE OPENINGS.

ELEVATION NOTE:
 REFERENCE ELEVATION CERTIFICATE BY CHARLES A MCKINLEY, SURVEYOR DATED 10/13/16:
 BFE: 76.4'; ZONE AE;
 LOWEST ADJACENT GRADE: 75.42';
 HIGHEST ADJACENT GRADE: 75.49';

ALL ELEVATION MEASUREMENTS MUST BE REFERENCED TO THE SURVEY BENCHMARK

J. Martin Montgomery
 16:32:38 2016.12.06
 0006-

J. MARTIN MONTGOMERY
 REGISTERED PROFESSIONAL ENGINEER
 STATE OF TEXAS - NO. 90427
 RCS ENTERPRISES, LP F-2071

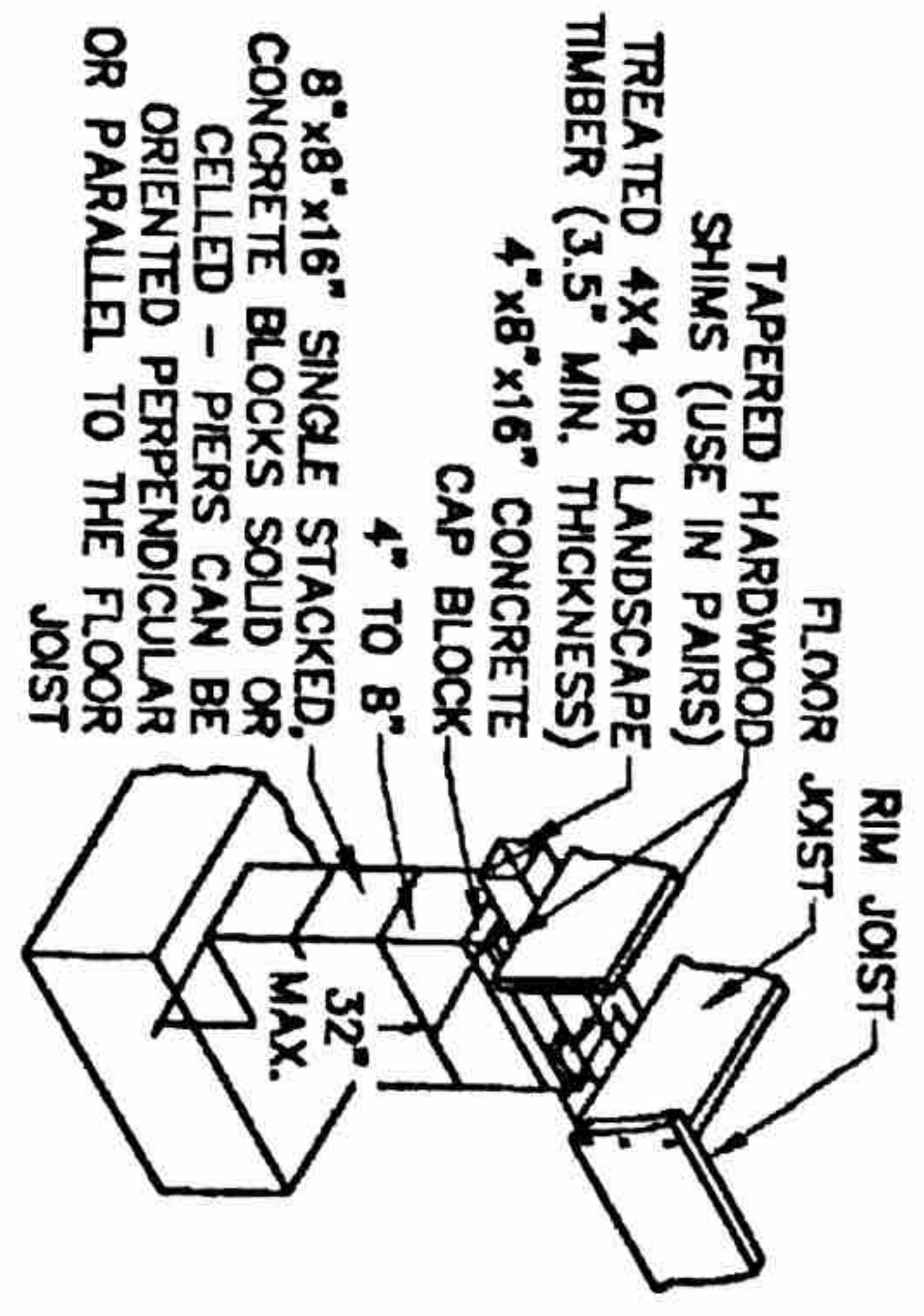
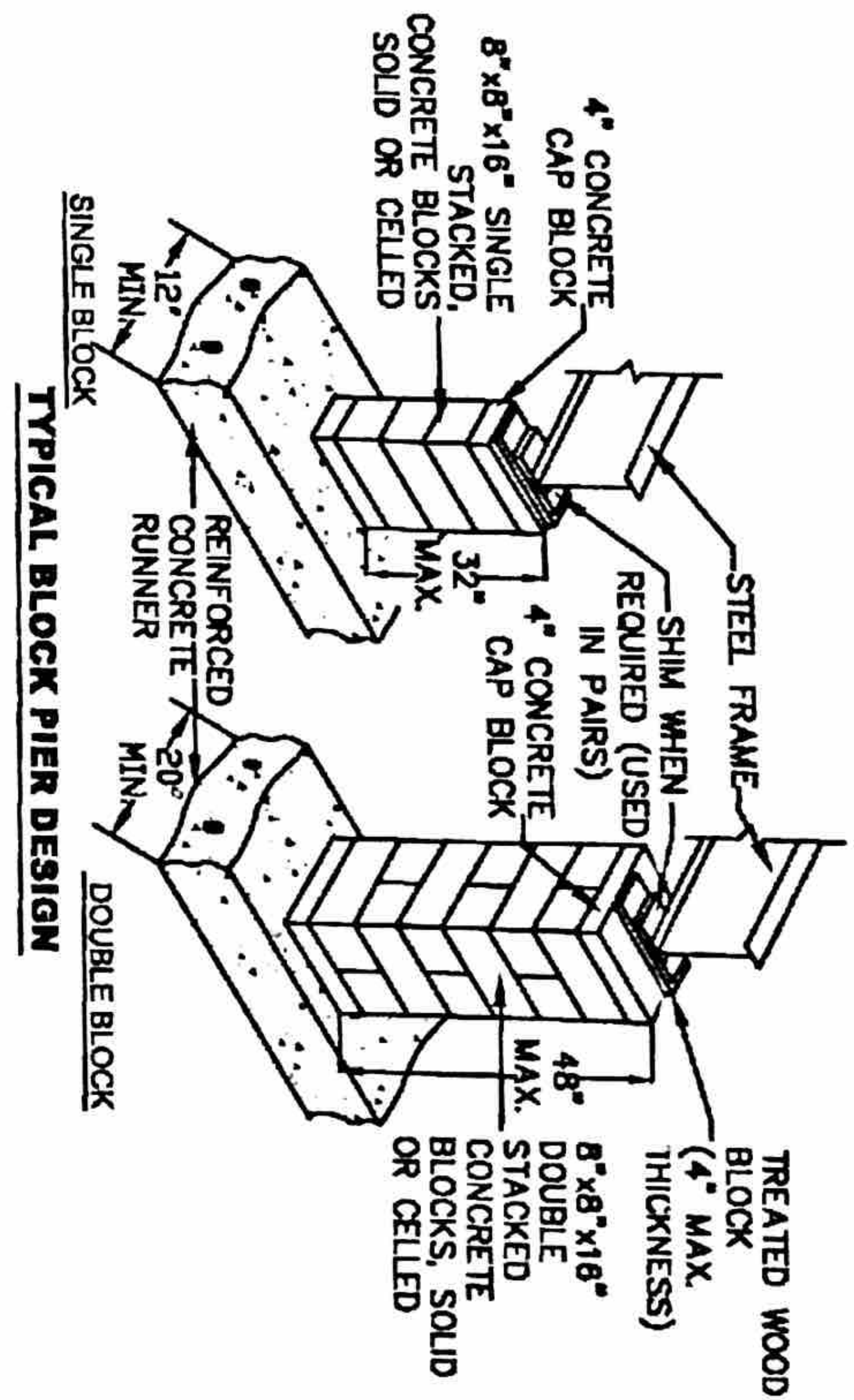


THIS IS A PERMANENT FOUNDATION FOR A MANUFACTURED OR INDUSTRIALIZED STRUCTURE AND HAS BEEN DESIGNED IN ACCORDANCE WITH THE IRC/IBC (INTERNATIONAL RESIDENTIAL BUILDING CODE), 2012 VERSION AS REQUIRED BY THE STATE OF TEXAS DEPT. OF LICENSING & REGULATION - INDUSTRIALIZED HOUSING & BUILDING (IHB) AND "THE PERMANENT FOUNDATION GUIDE FOR MANUFACTURED HOUSING", SEPT. 1996 (REF: FHA HUD-7584/7487 HUD-4145.1 REV 2).		
FILE NAME: RCS-TX-U-MOD-2W/3W-RUNNER-NPER-1	THIS DESIGN WAS ORDERED BY: PALM HARBOR HOMES	
DRAWING NAME: MODULAR HOME FOUNDATION TX RUNNER DESIGN		
CONTRACTOR MUST FIELD VERIFY ACTUAL DIMENSIONS WITH MANUFACTURER PRIOR TO BEGINNING CONSTRUCTION.		
COMPANY NAME IS BLUE IN COLOR ON ORIGINAL DRAWINGS		
MODEL: CABANA III	BOX SIZE: 15'-6" X 61'-0"	
SHEET NO. 2 OF 3	DWG ISSUE DATE: 02/04/15	REV NO. & DATE 3) 12/06/16

RCS Enterprises, LP

400 N. Allen Dr. Suite #205 Allen, TX 75013 (972) 727-8572

BILL YORK
 5819 VICTORY
 HOUSTON, TX 77088



FOOTING/CONCRETE NOTES (C):

- C-1) ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH ALL LOCAL AND GENERALLY ACCEPTED CODES, AND INCLUDING ACI-318.
- C-2) ALL CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS, WITH 1" MAXIMUM AGGREGATE SIZE, A MAXIMUM SLUMP OF 4", AND HAVE 3-5% AIR ENTRAINMENT.
- C-3) REINFORCING STEEL SHALL BE DEFORMED BILLET STEEL CONFORMING TO A.S.T.M. "A-615 GRADE 40".
- C-4) ALL REBAR IS TO BE CONTINUOUS WHERE POSSIBLE. REBAR SPLICES SHALL HAVE OVERLAPS AT LEAST 16" LONG.
- C-5) THE MINIMUM FOOTING THICKNESS IS 12" PLACED INTO UNDISTURBED SOIL, OR TO THE FROST LINE, WHICHEVER IS GREATER. THE PERIMETER FOOTING DEPTH, IF APPLICABLE, IS 12" (BELOW THE RED RIVER LINE), AND INCREASED TO 18" IN AMARILLO AND THE PANHANDLE.
- C-6) WHERE INSTALLATIONS MUST BE COMPLETED BEFORE THE CONCRETE IS 70% CURED (3 DAYS), FAST SETTING CONCRETE MUST BE USED. THE MINIMUM INTERIOR DEPTH IS 6" IF PROTECTED BY A PERIMETER BEAM, 12" IF NOT.
- C-7) THE MAXIMUM RUNNER SPACING IS: 8" FOR HOMES w/10" & LARGER STEEL FRAMES AND 6" FOR STEEL FRAMES SMALLER THAN 10", BUT SHALL NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS.

FOUNDATION MAINTENANCE:

THIS IS A SHALLOW FOUNDATION DESIGN AND AS SUCH, IS SUBJECT TO MOVEMENT FROM EXPANDING AND CONTRACTING CLAY SOILS. IF SOIL MOISTURE LEVELS ARE ALLOWED TO FLUCTUATE, THIS, TO PREVENT FOUNDATION MOVEMENT (AND POTENTIALLY THE NEED FOR PIER ADJUSTMENT/SHIMMING, OR MORE EXTENSIVE REPAIRS AT THE HOMEOWNERS EXPENSE) CONSISTENT SOIL MOISTURE LEVELS SHOULD BE MAINTAINED ON A YEAR-ROUND BASIS. GENERALLY THIS INVOLVES WATERING WITH A SOAKER HOSE OR SPRINKLER DURING THE DRY SUMMER MONTHS AND MAINTAINING GOOD DRAINAGE AWAY FROM THE FOUNDATION DURING THE WET WINTER MONTHS. ADDITIONALLY, SHRUBS & TREES GREATER THAN 2" IN TRUNK DIAMETER ARE NOT PERMITTED WITHIN THEIR MATURE HEIGHT FROM THE FOUNDATION IN AREAS WITH HIGH CLAY CONTENT SOIL AS THEY CONSUME LARGE VOLUMES OF WATER AND WILL IMPACT THE SOIL MOISTURE LEVELS. IN SOME CASES, ROOT BARRIERS OR OTHER MEANS CAN BE EFFECTIVE IN HELPING TO MANAGE SOIL MOISTURE LEVELS. AGAIN, IT IS IMPORTANT TO STRESS THE REQUIREMENT/RESPONSIBILITY FOR THE HOMEOWNER TO MAINTAIN SOIL MOISTURE LEVELS IN AREAS WITH CLAY SOIL TO PREVENT FOUNDATION MOVEMENT.

SITE EVALUATION & PREPARATION (S):

- S-1) REMOVAL OF VEGETATION FROM THE SITE IS REQUIRED. WHERE LARGE TREES ARE REMOVED, SPECIAL ATTENTION ON BACK FILL, COMPACTION AND SOIL MOISTURE IS REQUIRED. CONTACT RCS FOR ADDITIONAL INFORMATION.
- S-2) ALL BACK FILL BELOW THE FOOTINGS MUST BE MECHANICALLY COMPACTED TO 95% STANDARD PROCTOR DENSITY IN 6" LAYERS USING AN ENGINEERED SELECT MATERIAL. THIS DESIGN IS VALID ON LOTS WITH A MAXIMUM SLOPE OF 4' OVER THE LENGTH OF THE HOME. IF UNUSUAL SITE CONDITIONS ARE PRESENT, RCS MUST BE CONTACTED FOR FURTHER REVIEW.
- S-3) IN AREAS WITH ACTIVE CLAY SOIL, SOIL MOISTURE LEVELS BELOW THE FOUNDATION MUST BE WITHIN A MID-RANGE VALUE (GENERALLY ~ 18% - 28%) BEFORE POURING.
- S-4) IT IS THE RESPONSIBILITY OF OTHERS TO DETERMINE THE FLOOD POTENTIAL FOR THIS LOCATION. CONTACT RCS FOR ADDITIONAL INFORMATION IF THIS SITE FALLS WITHIN THE 100 YEAR FLOOD ELEVATION, AS DETERMINED BY A LOCAL SURVEYOR.
- S-5) ALL INCOMING BURIED CONDUIT/UTILITIES MUST BE ROUTED UP HILL OVER A MINIMUM OF 10' OR HAVE SPECIAL DRAINAGE PROVISIONS MADE TO PREVENT SUBSURFACE MOISTURE MIGRATION DOWN A HILL AND UNDER THE FOUNDATION.

RUNNER SPACING TABLE

Length	Total Number of Runners	O.C. Spacing
44'	7	~8'10"
52'	8	~7'0"
56'	8	~7'7"
62'	9	~7'5"
68'	10	~7'3"
74'	10	~7'11"

J. Martin Montgomery
16:33:03 2016.12.06
10006-

J. MARTIN MONTGOMERY
REGISTERED PROFESSIONAL ENGINEER
STATE OF TEXAS - NO. 90427
RCS ENTERPRISES, LP F-2071



THIS IS A PERMANENT FOUNDATION FOR A MANUFACTURED OR INDUSTRIALIZED STRUCTURE AND HAS BEEN DESIGNED IN ACCORDANCE WITH THE IRC/IBC (INTERNATIONAL RESIDENTIAL/BUILDING CODE), 2012 VERSION AS REQUIRED BY THE STATE OF TEXAS DEPT. OF LICENSING & REGULATION - INDUSTRIALIZED HOUSING & BUILDING (IHB) AND "THE PERMANENT FOUNDATION GUIDE FOR MANUFACTURED HOUSING", SEPT. 1998 (REF: FHA HUD-7584/7487 HUD-4145 1 REV 2).	
FILE NAME: RCS-TX-U-MOD-DAL.-1W/2W/3W-RUNNER-NPER/PER	THIS DESIGN WAS ORDERED BY: PALM HARBOR HOMES
DRAWING NAME: MODULAR HOME FOUNDATION TX RUNNER DESIGN	RCS Enterprises, LP 400 N. Allen Dr. Suite #205 Allen, TX 75013 (972)727-8572 BILL YORK 5819 VICTORY HOUSTON, TX 77088
CONTRACTOR MUST FIELD VERIFY ACTUAL DIMENSIONS WITH MANUFACTURER PRIOR TO BEGINNING CONSTRUCTION.	
COMPANY NAME IS BLUE IN COLOR ON ORIGINAL DRAWINGS	
MODEL CABANA III BOX SIZE: 15'-6" x 61'-0"	
SHEET NO. 3 OF 3 DWG ISSUE DATE: 02/04/15 REV NO. & DATE 3) 12/06/16	

HARRIS COUNTY REQUIREMENTS:

ALL FOUNDATION DRAWINGS IN A FLOOD PLAN WHERE THE DIFFERENCE BETWEEN THE NATURAL GRADE AND THE 100-YEAR FLOOD ELEVATION IS GREATER THAN THREE (3) FEET SHOULD BE SHOWN AS PIER AND BEAM. SLAB ON GRADE FOUNDATIONS CAN BE ALLOWED AS LONG AS A SEPARATE PERMIT IS ISSUED FOR FILL MATERIAL. OTHER TYPES OF FOUNDATIONS MUST BE REVIEWED ON A CASE-BY-CASE BASIS.

IF THE PROPERTY IS LOCATED WITHIN THE 100-YEAR FLOODPLAIN THE FINISH FLOOR ELEVATION AND ALL MECHANICAL AND ELECTRICAL MUST BE (18) INCHES ABOVE THE BASE FLOOD ELEVATION. IF THE PROPERTY IS LOCATED WITHIN THE DESIGNATED 10% FLOODPLAIN OR TEN-YEAR FLOODPLAIN ALL CONSTRUCTION UP TO TWENTY-FOUR (24) INCHES ABOVE THE BASE FLOOD ELEVATION MUST USE MASONRY, CONCRETE OR STEEL. THESE MATERIALS MUST BE USED FOR PIERS, COLUMNS AND FOUNDATION WALLS. THE FINISHED FLOOR OF THE STRUCTURE MUST BE TWENTY-FOUR (24) INCHES ABOVE THE BASE FLOOD ELEVATION. IF THE PROPERTY IS LOCATED WITHIN THE FLOODWAY THE FINISH FLOOR ELEVATION AND ALL MECHANICAL AND ELECTRICAL MUST BE 18" ABOVE THE LOWEST HORIZONTAL MEMBER, ALL REQUIREMENTS IN ACCORDANCE TO SECTION 4.05 OF HARRIS COUNTY FLOODPLAIN REGULATIONS ARE APPLICABLE.

- 1.) THIS PROPERTY LIES WITHIN THE DESIGNATED 100 YEAR FLOOD PLAN OR BELOW THE BASE FLOOD ELEVATION ACCORDING TO THE FLOOD INSURANCE RATE MAP PANEL NO.: 48201C-0655 SUFFIX M DATE: 06-09-14; ZONE: AE; BENCHMARK: 050330; VERTICAL DATUM: NAVD 88W/2001 ADJ. CONVERSION/COMMENTS: N/A.
- 2.) ALL WATER HEATERS, FURNACES, AIR CONDITIONING UNITS, ELECTRICAL DISTRIBUTION PANELS AND ANY OTHER MECHANICAL OR ELECTRICAL EQUIPMENT MUST BE ELEVATED IN ACCORDANCE WITH SECTION 4.05 OF HARRIS COUNTY FLOODPLAIN REGULATIONS.
- 3.) ANY ELECTRICAL CIRCUIT SERVING A LIGHT SWITCH OR OUTLET LOCATED BELOW THE BASE (100 YEAR) FLOOD ELEVATION SHALL BE DROPPED FROM ABOVE AND BE ON A SEPARATE BREAKER.
- 4.) THE MINIMUM FINISHED FLOOR ELEVATION MUST BE CLEARLY SHOWN ON THE DRAWINGS AND IN ACCORDANCE WITH SECTION 4.05 OF HARRIS COUNTY FLOODPLAIN REGULATIONS.
- 5.) A FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) REFERENCE MARK (BENCHMARK) IS FULLY DESCRIBED ON DRAWINGS. USE A GALVESTON COASTAL SUBSIDENCE DISTRICT (HGCS) BENCHMARK ALONG THE COASTAL AREA. ALL MATERIALS USED BELOW THE (100-YEAR) BASE FLOOD ELEVATION ARE ON APPROVED FEMA TECHNICAL BULLETIN 2-08 AS CLASS 5 WATER-RESISTANT, AND APPROVED IN ACCORDANCE WITH FEMA TECHNICAL BULLETIN 1-08 FOR FOUNDATION OPENINGS.
- 6.) ANY STORAGE AREAS BELOW THE (100-YEAR) BASE FLOOD ELEVATION MUST BE LESS THAN ONE HUNDRED FIFTY (150) SQUARE FEET IN SIZE IN ACCORDANCE WITH SECTION 4.05 OF HARRIS COUNTY FLOODPLAIN REGULATIONS.

SPECIAL REQUIREMENTS:

- A. A COMPLETED *ELEVATION CERTIFICATE MUST BE SUBMITTED: ONE AT PERMITTING, A SECOND AFTER THE SLAB IS POURED OR SUB-FLOOR IS INSTALLED AND BEFORE THE FRAMING STARTS, AND A THIRD IS REQUIRED ONCE CONSTRUCTION IS FINISHED. *(PER CURRENT FIRM PANEL) TO THE HARRIS COUNTY PUBLIC INFRASTRUCTURE, ARCHITECTURE AND ENGINEERING DIVISION, 10555 NORTHWEST FREEWAY, SUITE 120, HOUSTON, TX, 77092-8620 AFTER THE SLAB IS POURED OR SUB-FLOOR INSTALLED AND BEFORE THE FRAMING STARTS.
- B. A COMPLETED AS-BUILT CERTIFICATE MUST BE SUBMITTED AFTER THE STRUCTURE IS COMPLETE AND BEFORE IT IS OCCUPIED.
- C. THE COUNTY ENGINEER'S OFFICE WILL POST A FINAL INSPECTION NOTICE ON THE STRUCTURE ONCE ALL REQUIREMENTS HAVE BEEN MET.

(7.) THE FOLLOWING NOTE APPEARS ON THE DRAWING ALONG THE DESIGNER'S SEAL AND SIGNATURE.
I, J. MARTIN MONTGOMERY, A REGISTERED PROFESSIONAL ENGINEER, AUTHORIZED TO PRACTICE IN THE STATE OF TEXAS DO HEREBY CERTIFY THAT IF THE SINGLE FAMILY HOME IS CONSTRUCTED OR PLACED IN ACCORDANCE WITH THESE DRAWINGS WILL COMPLY WITH ALL PROVISIONS OF THE REGULATIONS OF HARRIS COUNTY, TEXAS FOR FLOOD PLAN MANAGEMENT.

J. Martin

Montgomery

16:33:18 2016.12.06

0006-

J. MARTIN MONTGOMERY

REGISTERED PROFESSIONAL ENGINEER

STATE OF TEXAS - NO. 90427

RCS ENTERPRISES, LP F-2071



THIS IS A PERMANENT FOUNDATION FOR A MANUFACTURED OR INDUSTRIALIZED STRUCTURE AND HAS BEEN DESIGNED IN ACCORDANCE WITH THE IRC/IBC (INTERNATIONAL RESIDENTIAL/BUILDING CODE), 2012 VERSION AS REQUIRED BY THE STATE OF TEXAS DEPT. OF LICENSING & REGULATION - INDUSTRIALIZED HOUSING & BUILDING (IHB) AND "THE PERMANENT FOUNDATION GUIDE FOR MANUFACTURED HOUSING", SEPT. 1998 (REF: FHA HUD-7584/7487 HUD-4145.1 REV 2).

FILE NAME: RCS-TX-U-MOD-2W/3W-RUNNER-NPER-1

DRAWING NAME: MODULAR HOME FOUNDATION

THIS DESIGN WAS ORDERED BY: PALM HARBOR HOMES

CONTRACTOR MUST FIELD VERIFY ACTUAL DIMENSIONS WITH MANUFACTURER PRIOR TO BEGINNING CONSTRUCTION.

COMPANY NAME IS BLUE IN COLOR ON ORIGINAL DRAWINGS

MODEL: CABANA III BOX SIZE: 15'-6" X 61'-0"

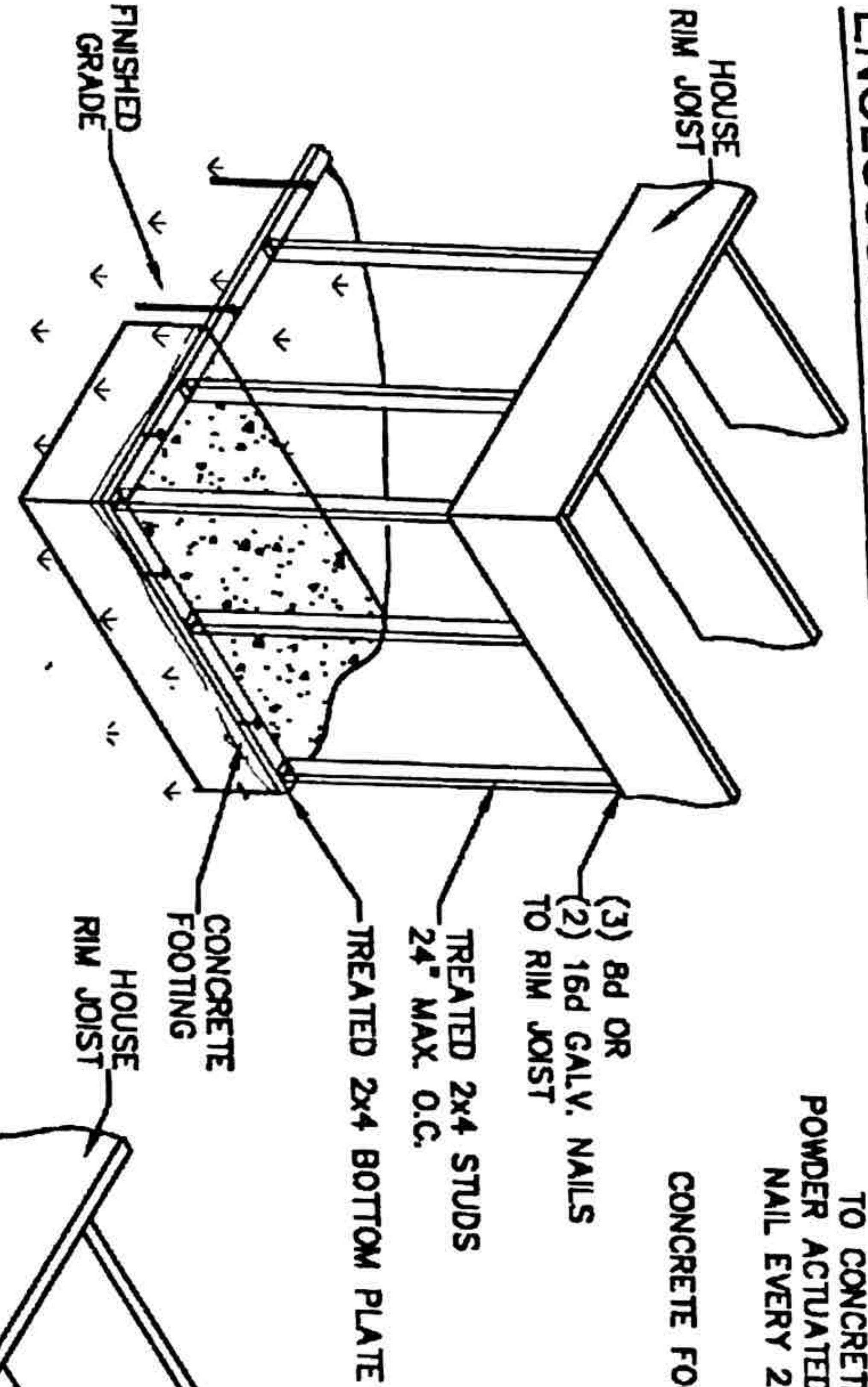
SHEET NO. DWG ISSUE DATE: REV NO. & DATE
HARRIS COUNTY 02/04/15 3) 12/06/16

RCS Enterprises, LP

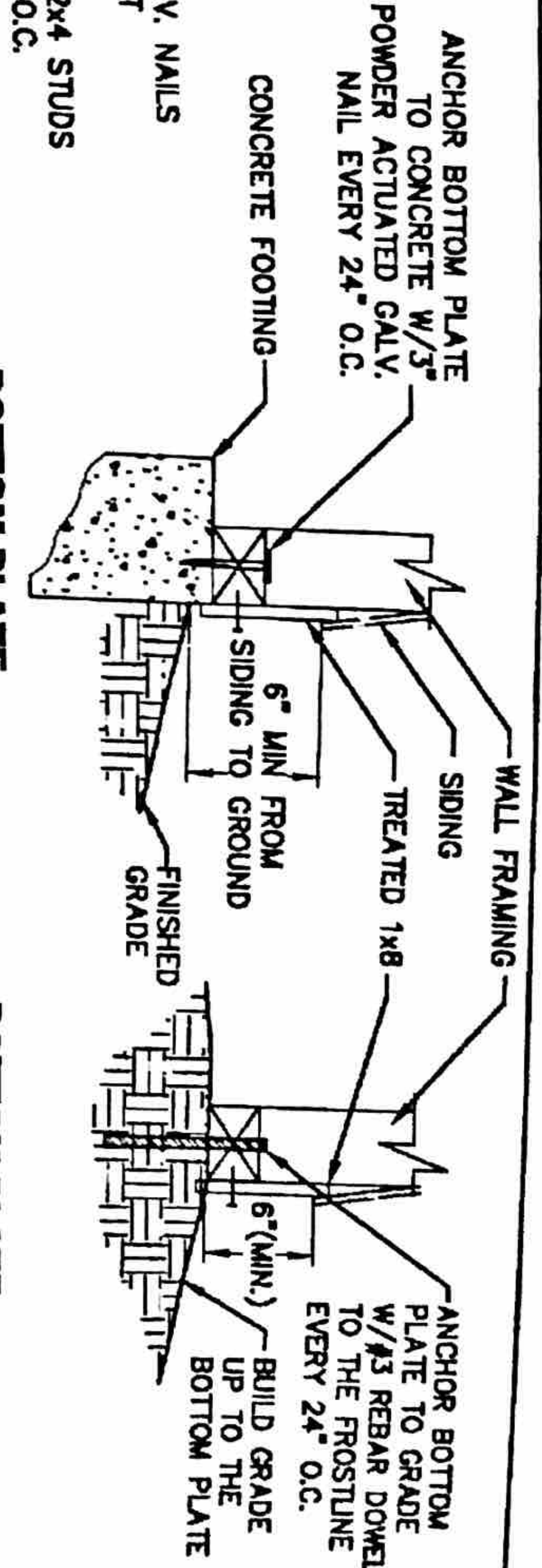
400 N. Allen Dr. Suite #205 Allen, TX 75013 (972)727-8572

BILL YORK
5819 VICTORY
HOUSTON, TX 77088

ENCLOSURE DETAILS

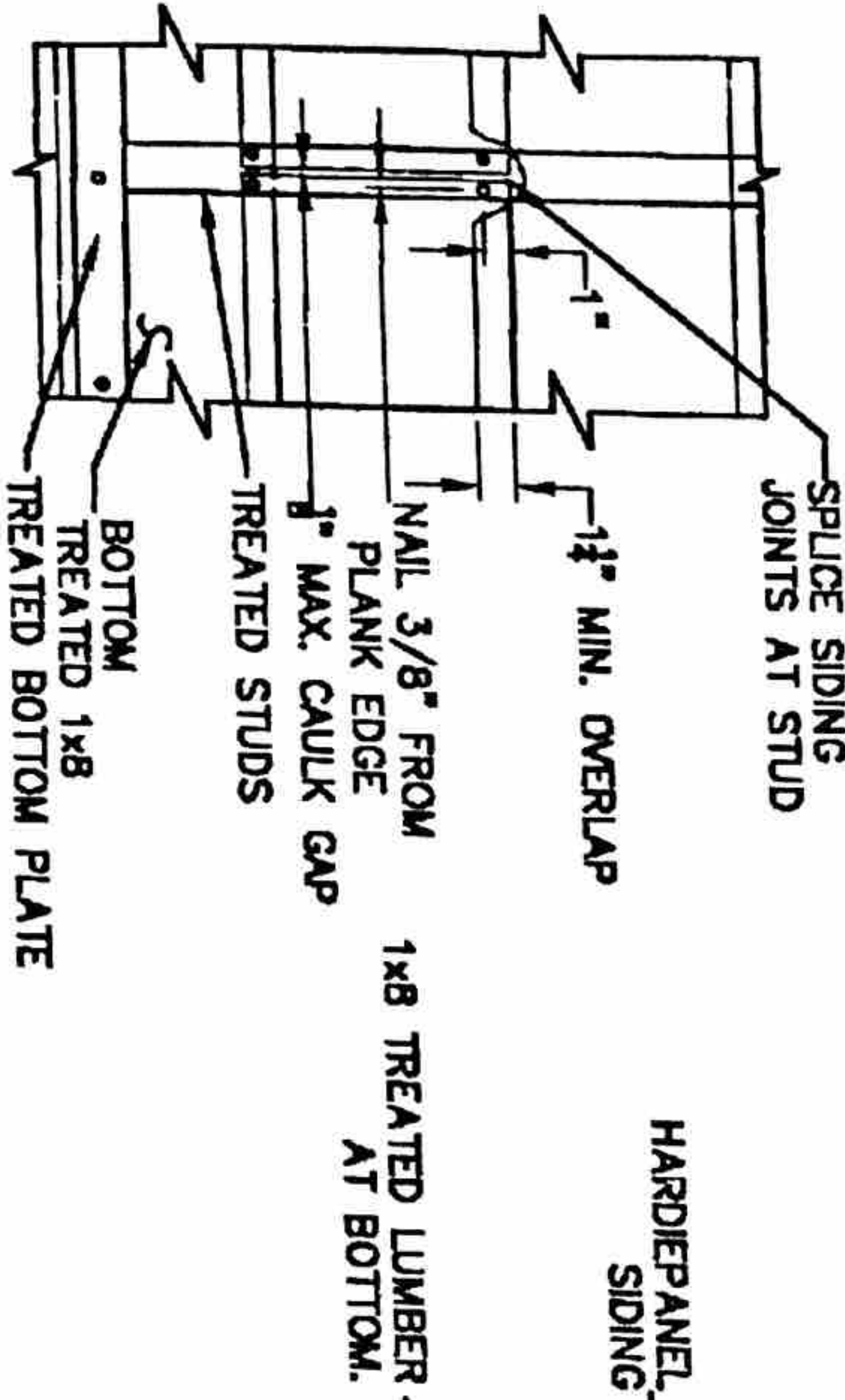


FRAMING DETAIL

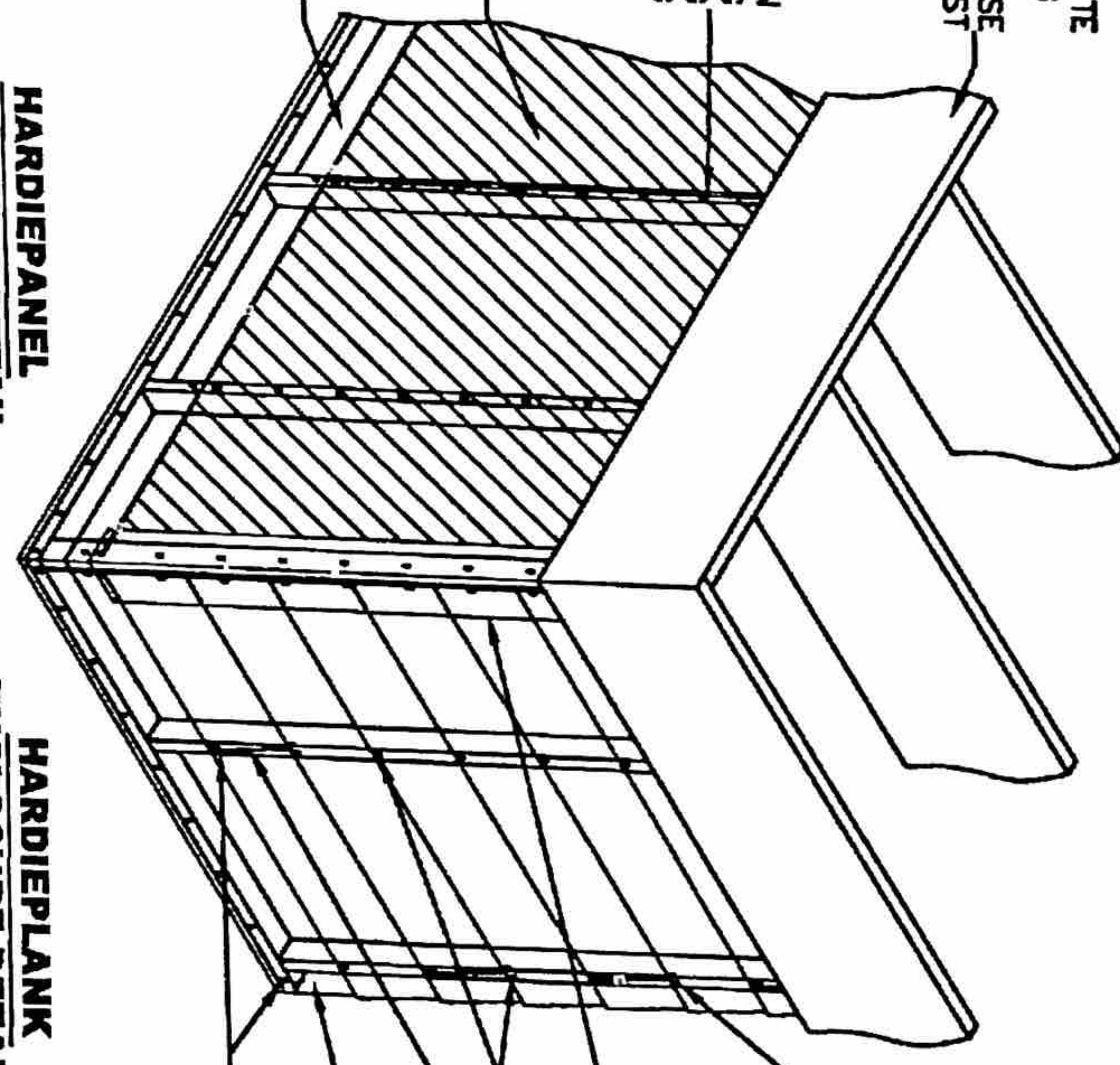


BOTTOM PLATE ATTACHMENT DETAIL (ON CONCRETE)

BOTTOM PLATE ATTACHMENT DETAIL (WHERE CONCRETE IS NOT PRESENT)



HARDIEPLANK JOINT DETAIL



HARDIEPANEL ENCLOSURE DETAIL

HARDIEPLANK ENCLOSURE DETAIL

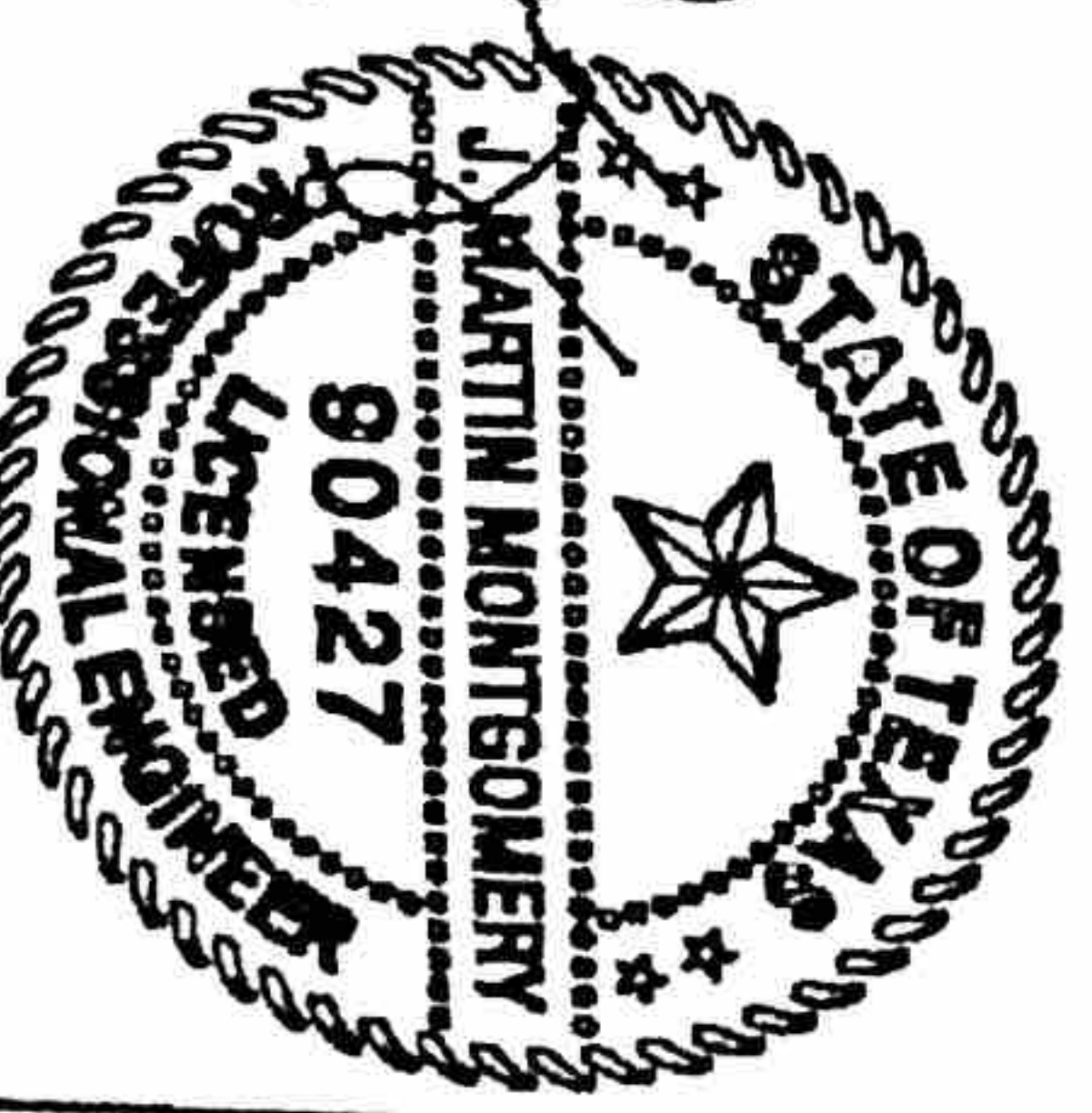
CONCEALED NAILING METHOD: -FOR LAP SIDING UP TO 7 1/2\"/>

ADD CORNER TRIM ON HARDIPLANK ENCLOSURES
NAILS UNDER SIDING
SEE \"HARDIPLANK JOINT DETAIL\" FOR NAILING
1x8 TREATED LUMBER AT BOTTOM
EXPOSED NAILS

ENCLOSURE NOTES (E):

- E1) THE MINIMUM CRAWL SPACE CLEARANCE BETWEEN GRADE AND THE SUPPORT BEAMS IS 12\"/>

J. Martin Montgomery
16:34:57 2016.12.06
0006-



FILE NAME: RCS-TX-EXTERIOR-COA-IRC			THIS DESIGN WAS ORDERED BY: PALM HARBOR HOMES		
DRAWING NAME: EXTERIOR CONSTRUCTION			<div><div>RCS Enterprises, LP</div><div>400 N. Allen Dr. Suite #205 Allen, TX 75013 (972)727-8572</div><div>BILL YORK 5819 VICTORY HOUSTON, TX 77088</div></div>		
CONTRACTOR MUST FIELD VERIFY ACTUAL DIMENSIONS WITH MANUFACTURER PRIOR TO BEGINNING CONSTRUCTION.					
COMPANY NAME IS BLUE IN COLOR ON ORIGINAL DRAWINGS					
MODEL: CABANA III BOX SIZE: 15'-6" x 61'-0"					
SHEET NO. ENCLOSURE	DWG ISSUE DATE: 02/04/15	REV NO. & DATE 3) 12/06/16			